
**HISTORIC PRESERVATION REVIEW BOARD
STAFF REPORT AND RECOMMENDATION**

Property Address:	1100 6th Street NW	<input checked="" type="checkbox"/> Agenda
Landmark/District:	Mount Vernon Square Historic District	<input type="checkbox"/> Consent Calendar
		<input type="checkbox"/> Denial Calendar
		<input checked="" type="checkbox"/> Concept Review
Meeting Date:	October 26, 2023	<input type="checkbox"/> Alteration
H.P.A. Number:	22-274	<input checked="" type="checkbox"/> New Construction
		<input type="checkbox"/> Demolition
		<input type="checkbox"/> Subdivision

Bonstra Haresign Architects, on behalf of owner Aydin Hayri, seeks concept review for four-story and seven-story additions to 1100 6th Street NW, a contributing property in the Mount Vernon Square Historic District. The Board saw this concept in May 2022 and approved the general height and massing of the project, but also asked that the east elevations be revised and return to the Board for further review.

Property Description and Context

The site was originally four building lots fronting 6th Street which are now combined by subdivision into a single lot. The sole surviving historic building on the lot is a substantial three-story, gable-roofed house on the corner, originally constructed in 1855 for owner James Essex. Essex House originally had an attached house on its north and a rear wing set back from L Street.

Proposals and Revisions

The applicant proposes to build a project of new construction consisting of two distinct compositions each attached to Essex House.

Facing 6th Street, the project is conceived as a row of houses with projecting bays connected to Essex House by a two-story glass entrance. The material of the fourth floor has been revised, at the recommendation of the Board, to match the material of the lower floors and produce a uniform four-story appearance (Sheet 18).

Facing L Street, the project consists of a seven-story building running the full depth of the site. The two-story glass hyphen in the previous concept, which separated the new tower from Essex House (See endnotes, Figure 1), has been removed and the tower shifted east to abut the rear of the house except for an entry niche at the lobby entrance which extends through the upper floors (Sheet 11 and 19). The central bay of the tower now projects forward as a projecting bay starting at the second floor. The ground floor of the tower has been revised to include a second vehicle entrance at the west end and the first-floor materials have been revised to contrast with the materials of the upper floors. The materials and fenestration of the east elevation of the tower have also been revised in response to the Board's advice to simplify this elevation which backdrops the front of Essex House, but the front-most portion has been widened to the south and now aligns with the edge of Essex House.

Evaluation

The revisions address Board's previous advice about the east elevations of the new row and tower but also raise a new issue that requires the Board's consideration. At the first hearing the Board did not identify the hyphens on 6th and L streets as concerns, but the removal of the hyphen on L results in a distinct shift in the previously approved massing.

Shifting the tower to the east and increasing its attachment to the rear of Essex House has forced the removal of the two-story glass hyphen that was included in the original concept. When reviewed in 2022, staff recommended that the hyphen on L Street served a good purpose by acting as a buffer between the house and the new tower giving the house room to stand apart from the new construction.¹ This hyphen could even be clad in brick and still buffer the house from the tower. The revised concept shifts the tower to the east, while keeping the west wall of the tower in place, in response to adding a second vehicle entrance to the west end of the elevation. While elimination of the hyphen is the primary concern, the other façade revisions triggered by the extra vehicle entrance—projecting out the central bay, revising the materials and proportions of the ground floor—should also be addressed by the Board. Staff recommends that the previous concept was more successful at providing enough separation from Essex House to let it stand out as much as possible.

Recommendation

The HPO seeks the Board’s guidance on the revisions to the concept design for four-story and seven-story additions to 1100 6th Street NW and whether they are compatible with the character of the historic district, and that final approval be delegated to staff.

Staff contact: Brendan Meyer

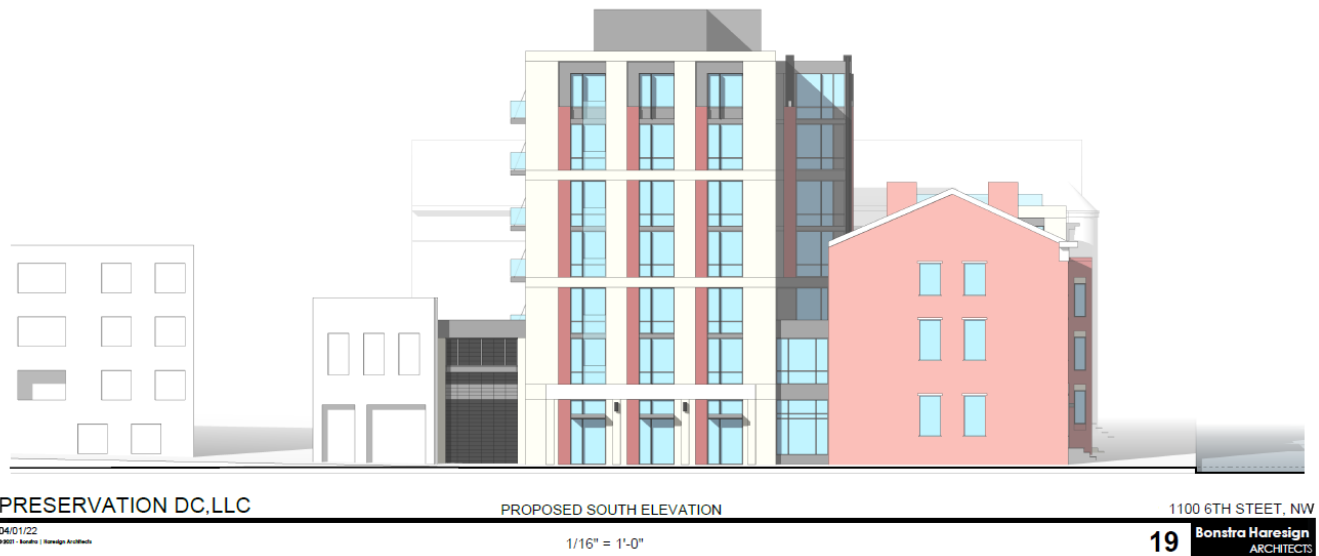


Figure 1. Previous concept, south elevation with glass hyphen, May 2022.

¹ Staff report, May, 2022, “The two-story glass facades abutting the north and west sides of Essex House separate the new construction from the historic house, giving it space to stand out. They act as hyphens between old and new and are useful in this way, but they are not the only compatible option. Alternatively, the house originally hosted an attached neighbor on the north and a rear wing on the west, so attachment is its natural condition. Bringing the rowhouses against the house or cladding the hyphens in masonry materials could work as well.”