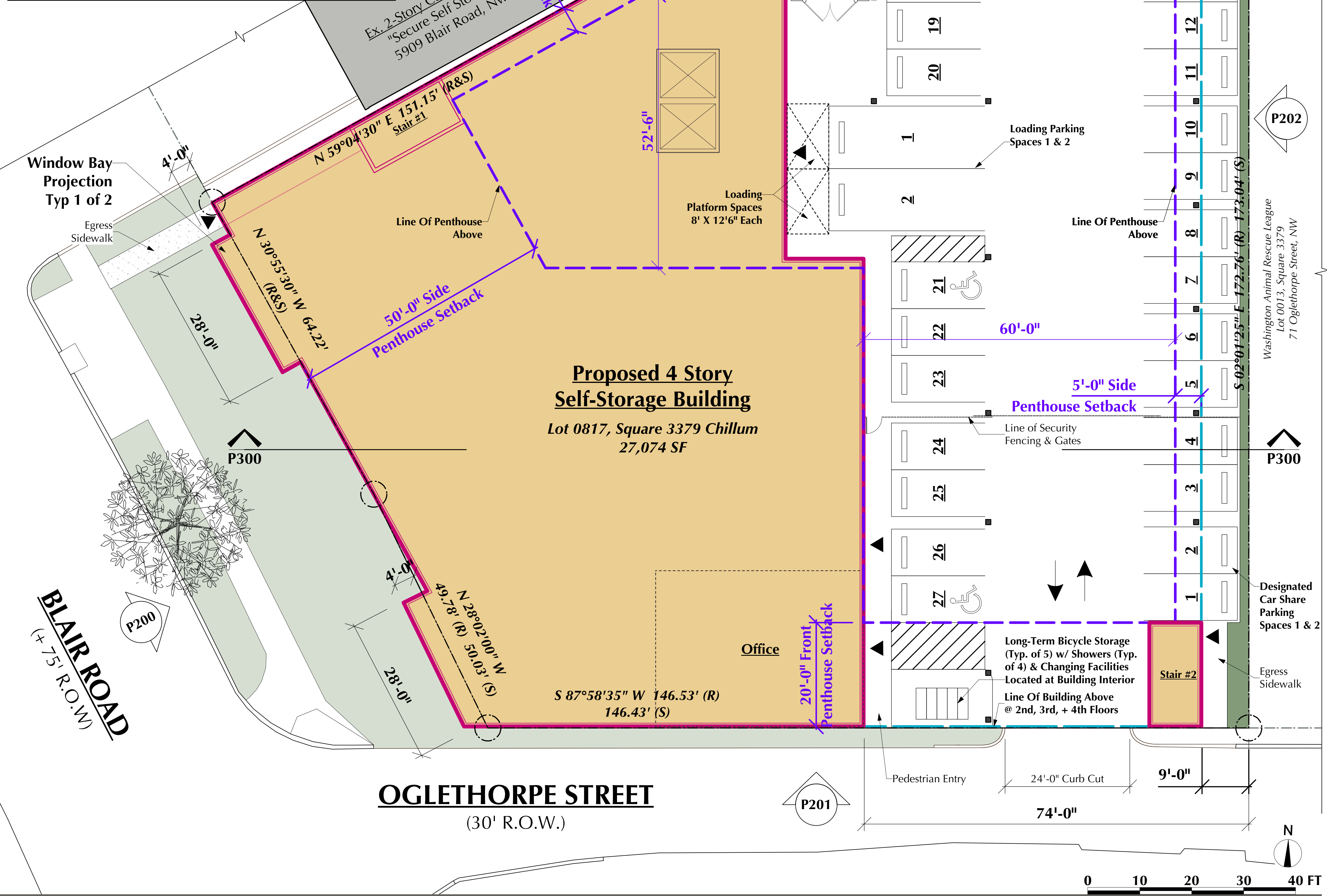


# EXHIBIT E

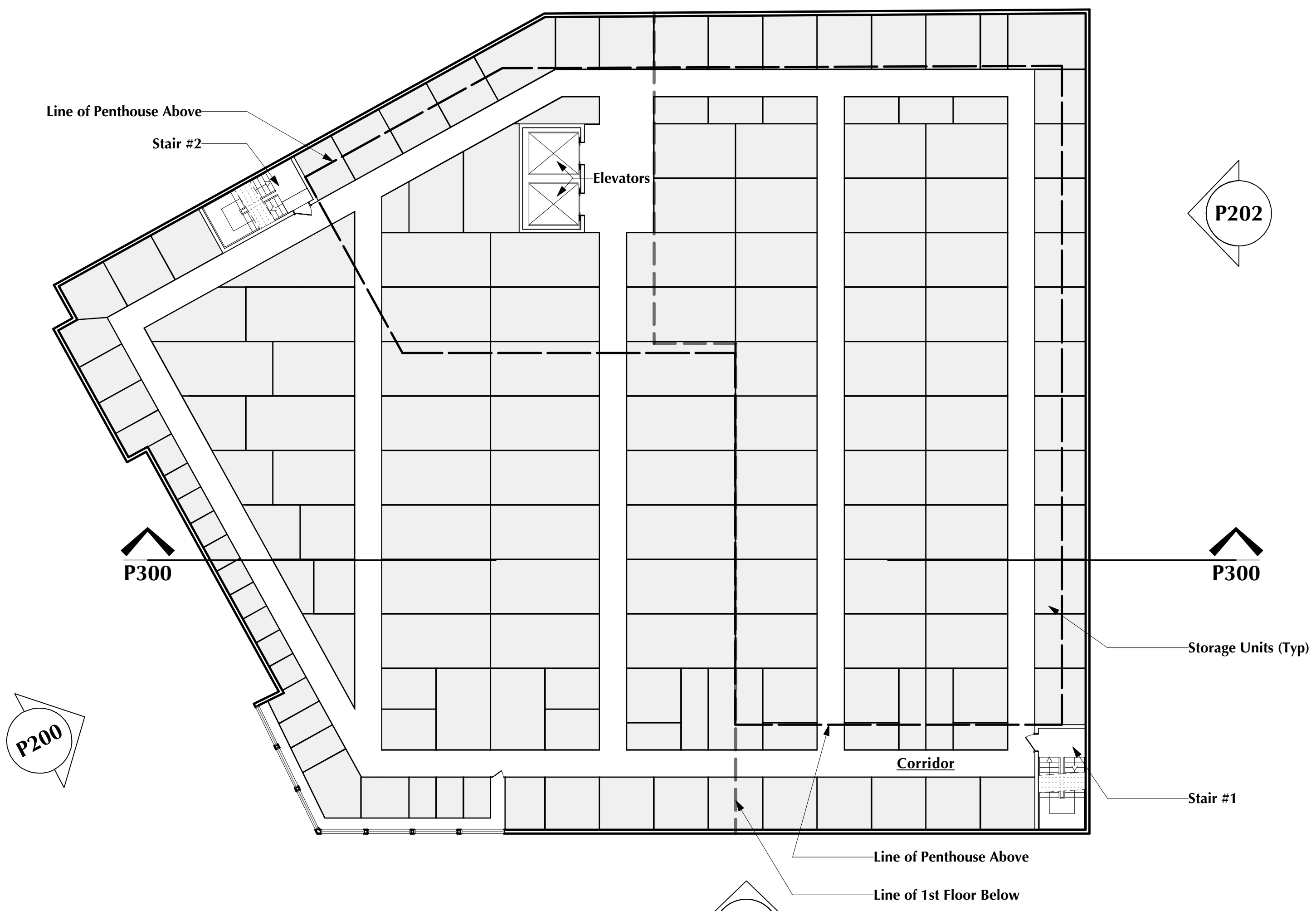
Zoning Summary (per Title 11 DCMR)					
PROPERTY ADDRESS	5901 BLAIR ROAD NW, WASHINGTON DC 20011				
ZONING CLASSIFICATION	PDR-1				
BLOCK NUMBER	SQUARE 3379				
LOT NUMBER	0817				
PROPOSED USE:	PRODUCTION, DISTRIBUTION, AND REPAIR- SELF STORAGE per 11-B §200.2 (aa)				
SITE INFORMATION					
MINIMUM LOT AREA:	-				
MINIMUM LOT WIDTH:	-				
LENGTH/WIDTH RATIO:	-				
SITE AREA:	27,074 SF (per Tax Records- to be confirmed after Survey)				
PROPOSED BUILDING AREA REQUIREMENTS					
DESCRIPTION	AREA SF	REMARKS			
First Floor Area- Parking / Loading	10,511 SF				
First Floor Area- Storage	11,754 SF				
First Floor Area- Office	1,400 SF				
Second Floor Area- Storage	23,665 SF				
Third Floor Area- Storage	23,665 SF				
Fourth Floor Area- Storage	23,665 SF				
Window Bay Projection Area- Storage	888 SF	per Title 12 DCMR 3202.10.3			
Penthouse Area- Storage	10,757 SF	per 11-C §1503.1(c); Area = < 0.4 x Site Area			
<b>SUBTOTAL (EXCLUDING PENTHOUSE &amp; BAYS) =</b>	<b>94,660 SF</b>				
<b>TOTAL PROPOSED GFA =</b>	<b>106,305 SF</b>				
TOTAL GFA EXCLUDING PARKING/LOADING =	95,794 SF	USED WHEN CALCULATING PARKING, LOADING, BICYCLE, & SHOWER REQUIREMENTS			
Regulation	Permitted / Required	Proposed Building	C=Complies	Applicable ZR Section	
Allowable / Proposed Floor Area	94,759 SF	94,660 SF	C	Site Area x FAR = 27,074 SF x 3.5 = 94,759 SF	
Maximum Floor Area Ratio (FAR)	3.5	3.50	C	per Table J §202.1	
PENTHOUSE- Allowable / Proposed Floor Area	10,830 SF	10,757 SF	C	Penthouse Area = < 0.4 x Site Area	
PENTHOUSE- Maximum Floor Area Ratio (FAR)	0.4	0.40	C	11-C §1503.1(c)	
YARD REQUIREMENTS					
FRONT- Oglethorpe Street	0'0"	0'0"	C		
SIDE YARD- Adjacent PDR-1 Lot (East Elevation, Northwest Elevation), Blair Road (>75' ROW @ West Elevation)	0'0"	9'0" @ East, 0'0" @ Northwest & 0'0" @ West	C	per 11-J §206 & §207	
REAR YARD - Adjacent PDR-1 Lot (North Elevation)	2.5'-12" BLDG HT.	22'0"	C	per 11-B §318.3 & 11-J §205	
BUILDING HEIGHT REQUIREMENTS					
Maximum Building Height (FT)	50'0	50'	C	per Table J §203.1	
Maximum Building Height (STORIES)	N/A	4 + PENTHOUSE	C		
** SEE P-200-201 PRELIMINARY ELEVATIONS & P-300 PRELIMINARY SECTION FOR BUILDING HEIGHT DATA					
PENTHOUSE SETBACK REQUIREMENTS					
FRONT- Oglethorpe Street	10'0"	20'0"	C	per 11-C §1502.1(a)	
SIDE- Adjacent PDR-1 Lot (East Elevation) & Blair Road (West Elevation)	5'0"	5'0" (East) & 50'0" (West)	C	per 11-C §1502.1(d)	
REAR YARD - Adjacent PDR-1 Lot (North/ Northwest Elevation)	10'0"	10'0"	C	per 11-C §1502.1(b)	
GREEN AREA RATIO (GAR) REQUIREMENTS					
Minimum Green Area Ratio	0.3	0.3	C	per 11-J §208.1	
Green Area Calculations	8,122 SF	TBD -- VIA GREEN ROOF	C	Site Area x GAR = 27,074 x 0.3 = 8,122 SF	
PARKING / LOADING REQUIREMENTS					
Number of Parking Spaces (Standard + Car Share)	31	25 + 2	C	See Note #1	
Size of Parking Space	9'0" x 18'0"	9'0" x 18'0"	C	per Table C §712.5	
Number of Loading Berths	2	2	C	See Note #2	
Size of Loading Berths	12'0" x 30'0" w/ 14'0" Min. Clear Ht.	12'0" x 30'0" w/ 14'0" Min. Clear Ht.	C	per 11-C §905.2	
Size of Loading Platforms	At least 100 SF + 8' Wide, 10' Min. Clear Ht.	100 SF, 8' x 12'6", 17'0" Min. Clear Ht.	C	per 11-C §905.4	
Number of Bicycle Parking Spaces	5	5	C	See Note #3	
Number of Shower & Changing Facilities	4	4	C	see Note #4	
Number of Clothing Lockers	3	3	C		
Notes:					
<b>1. Parking Requirements per Table C §701.5; GFA per 11-C §709.1(a)</b>					
Storage Use = 1 space / 3,000 SF GFA in Excess of 3,000 SF					
Car Share Parking Spaces per 11-C §708.2: (1) Car Share Spaces = (3) Required Spaces; Max. (2) Car Share Spaces Permitted (GFA - 3,000 SF) / 3,000 = (95,794 - 3,000) / 3,000 = 31 STANDARD SPACES REQUIRED					
31 Spaces - 6 per Car Share Reduction = 25 STANDARD SPACES + 2 CAR SHARE SPACED REQUIRED					
<b>2. Loading Requirements per Table C §901.1</b>					
Loading Berths = > 25,000 SF : 2 Required					
Service/Delivery Spaces = None					
<b>3. Bicycle Parking Requirements per Table C §802.1; GFA per 11-C §803.2(a)</b>					
PDR = 1 Long Term Space : 20,000 SF ; 0 Short-Term Spaces					
GFA / 20,000 = 95,794 / 20,000 = 4.8 = 5 Long-Term Spaces					
<b>4. Shower &amp; Changing Facilities- Non-Residential Uses per 11-C §806</b>					
>25,000 SF = (2) showers + (2) showers for every 50,000 SF; Max. (6) showers					
GFA: <75,000 SF = 4 SHOWERS REQUIRED					
Clothing Lockers = 0.6 x # Long-Term Parking Spaces; Min. 12"(w) x 18" (d) x 36"(h)					
0.6 x 5 = 3 CLOTHING LOCKERS REQUIRED					

Window Bay Projection Analysis (per Title 12 DCMR 3202.10.3 Bay Windows)					
Regulation	Permitted / Required	Proposed Building	C=Complies	Applicable ZR Section	
Width of Multiple Projections at Lot Line for Buildings Exceeding 24' in Width at the Lot Line	58'-0"	56'-0"	C	per 12-A §3202.10.3.1, See Notes #1+2	
Projection of Bay Windows on Streets (< 70' Wide (Blair Road))	4'	4'	C	per 12-A §3202.10.3.3	
Notes:					
<b>1. Multiple Projection Width Calculation (12-A §3202.10.3.1.7)</b>					
Width of Building at Lot Line = 114'-0"					
Permitted Total Width of Multiple Projections = 13'-0"					
Width of Building over 24'-0" : 114'-0" - 24'-0" = 90'-0"					
Permitted Aggregate Total Width of Multiple Projections : 90'-0" * 6" = 45'-0"					
<b>Total Permitted Multiple Projection Width : 13'-0" + 45'-0" = 58'-0"</b>					
<b>2. Permitted Width of Single Projection Calculation (12-A §3202.10.3.1.4)</b>					
Permitted Width of Single Projection (For Width of Building of 16'-0" = 9'-0"					
Permitted Width of Single Projection (For Width of Building between 16' and 24') = 8'-0" x 6" = 4'-0"					
Permitted Width of Single Projection (For Width of Building > 24') = 90'-0" x 2" = 15'-0"					
<b>Total Permitted Single Projection Width : 9'-0" + 4'-0" + 15'-0" = 28'-0"</b>					

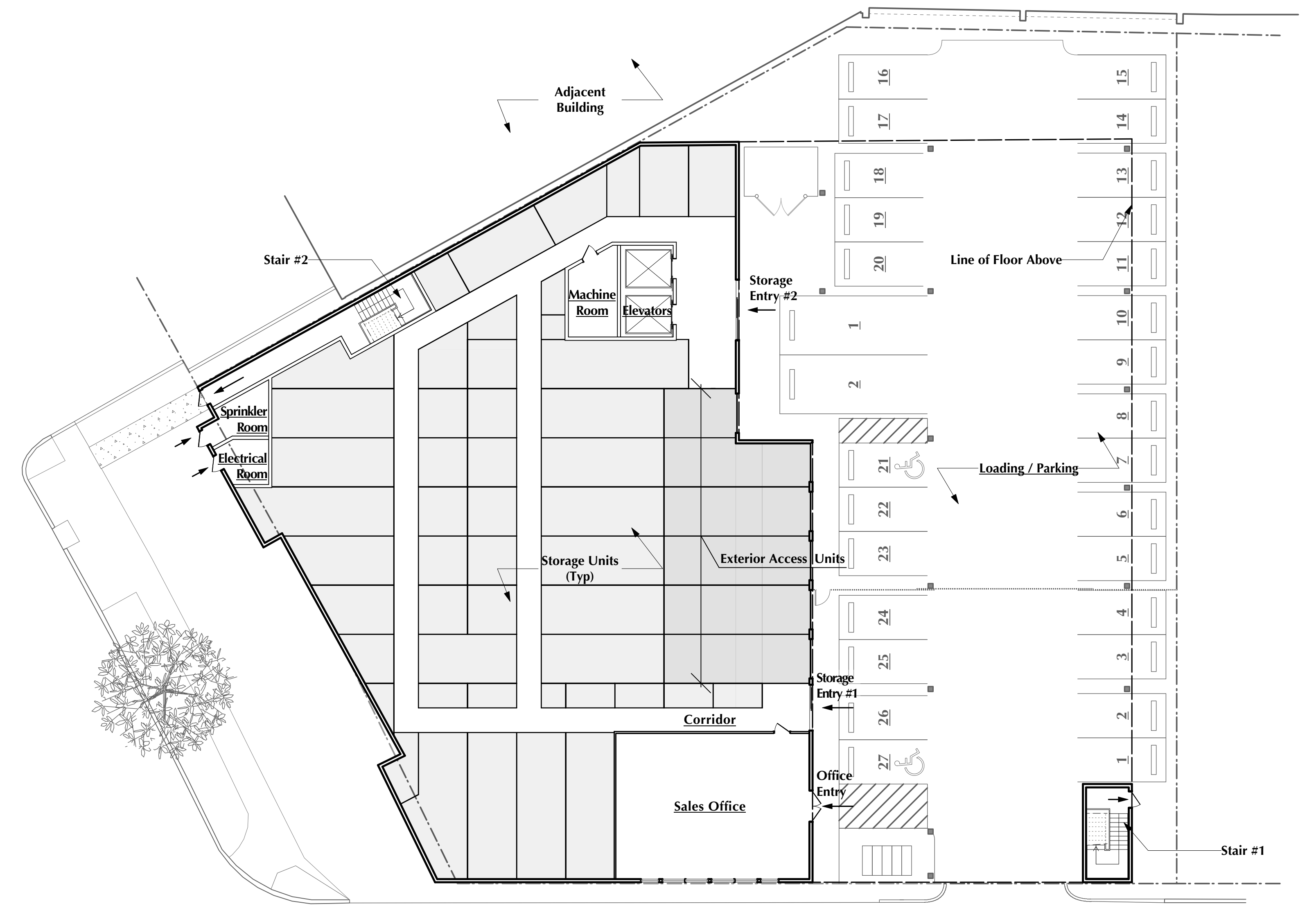


P203

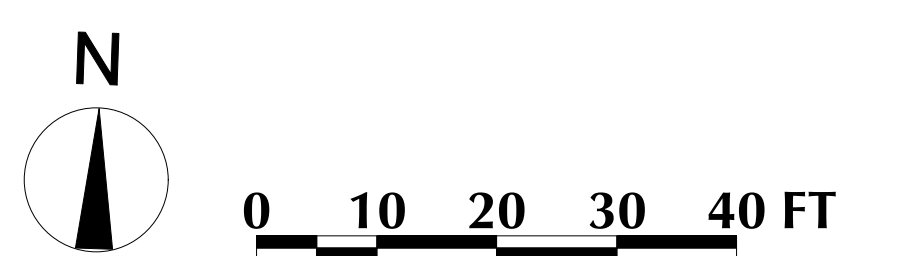
P202

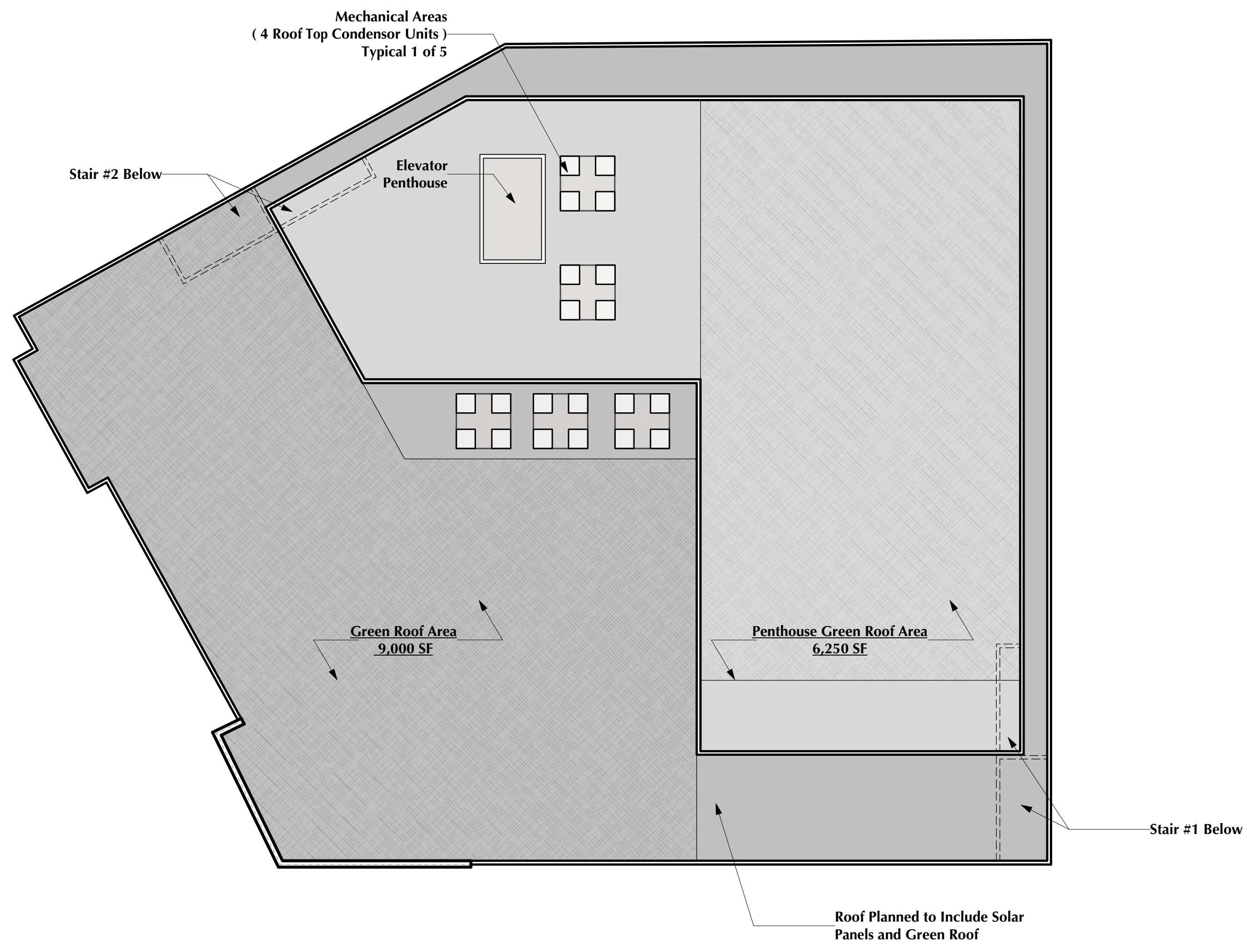


**2 / P-101 :**  
**Proposed Typical Floor Plan**  
 ( Floors 2, 3, + 4 Similar )



**1 / P-101 :**  
**Proposed 1st Floor Plan**  
*Refer to P-100 For Setbacks*

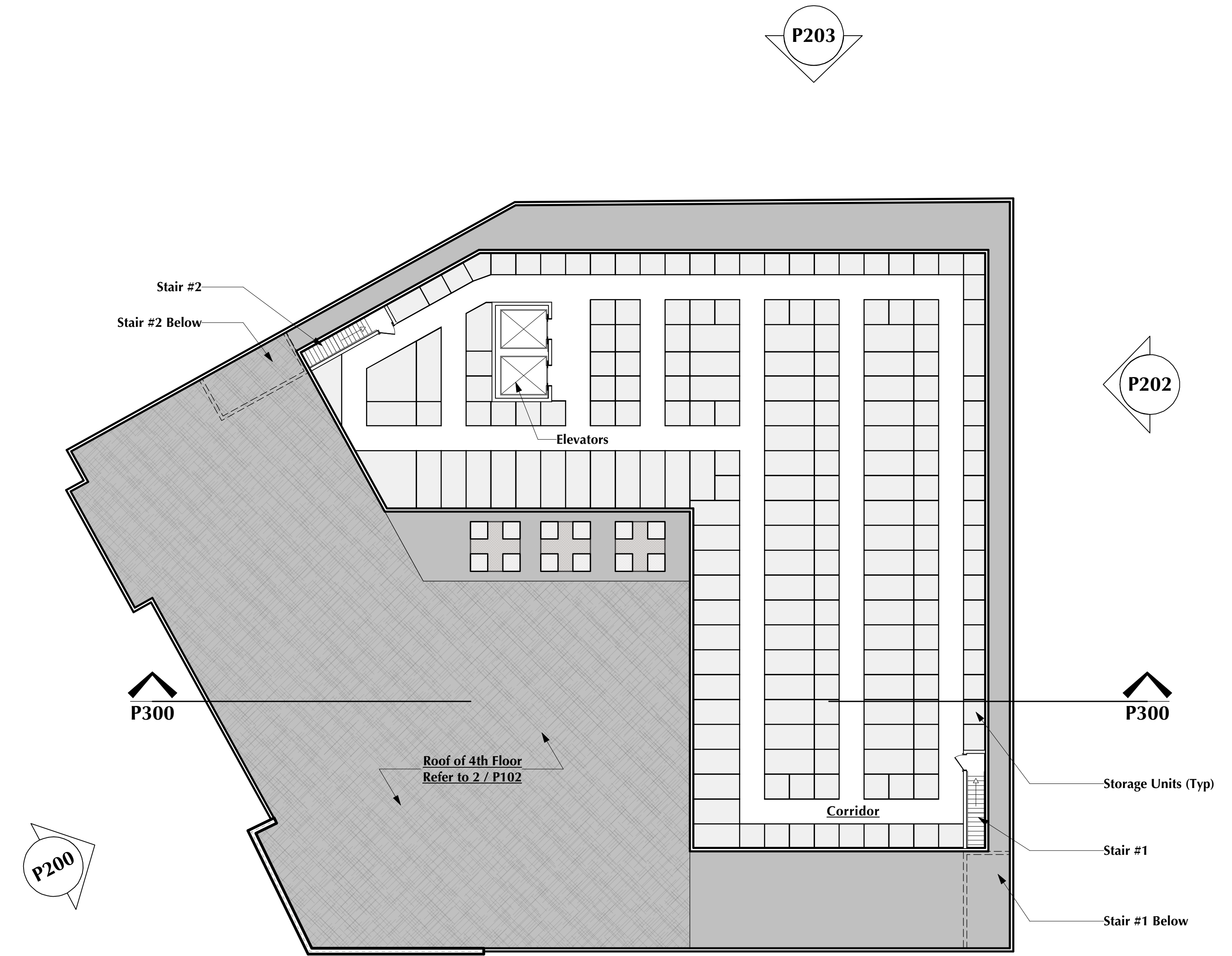




**2 / P-102 :  
Proposed Roof Plan**

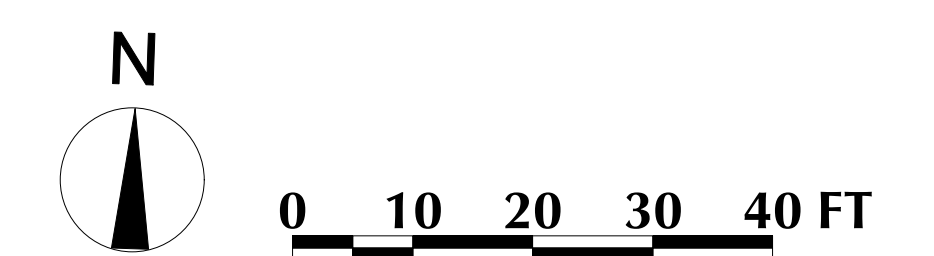
Refer to P-100 For Setbacks

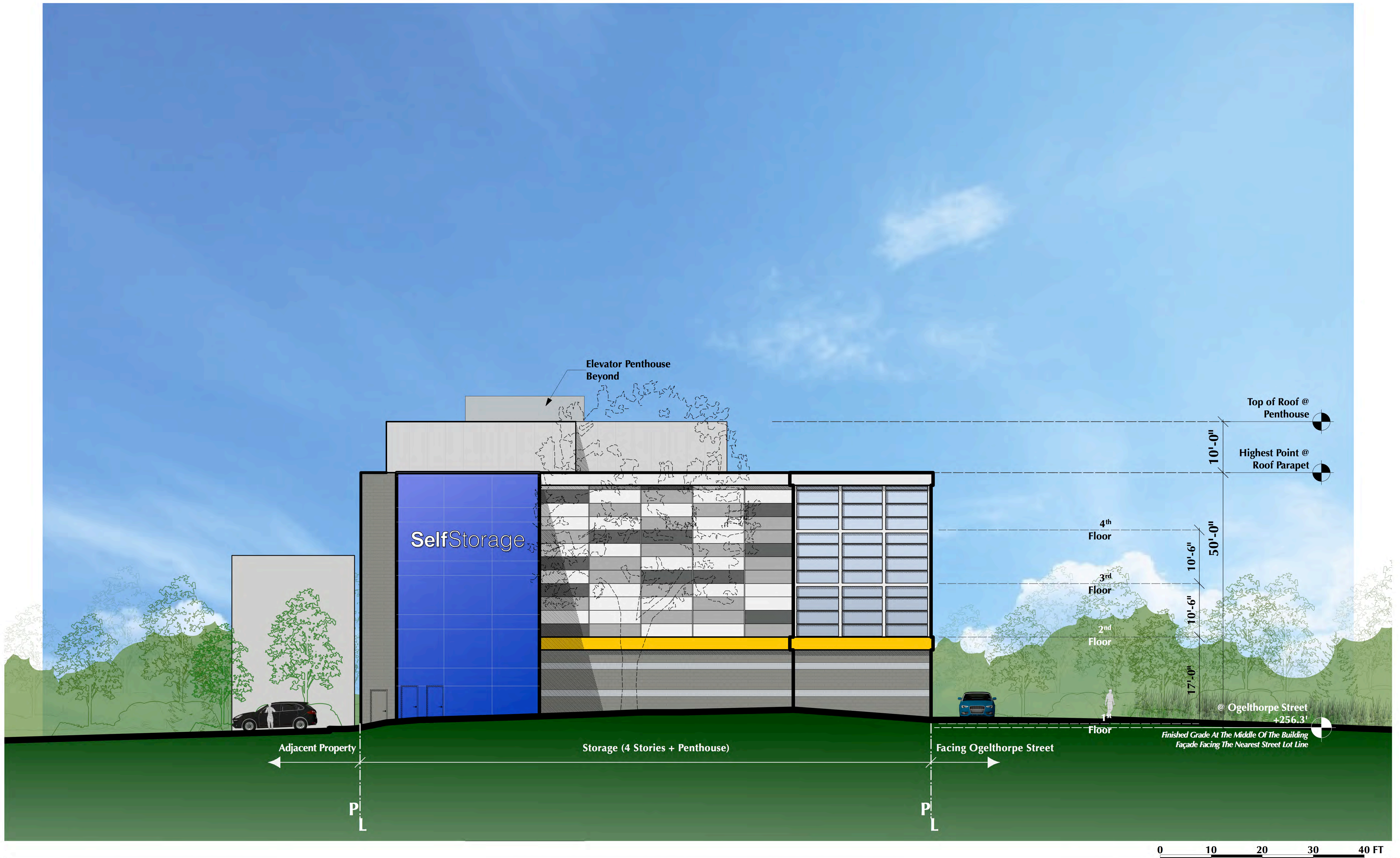
NOTE : Location of Green Roof and Roof Structures are illustrative and subject to change on final plans

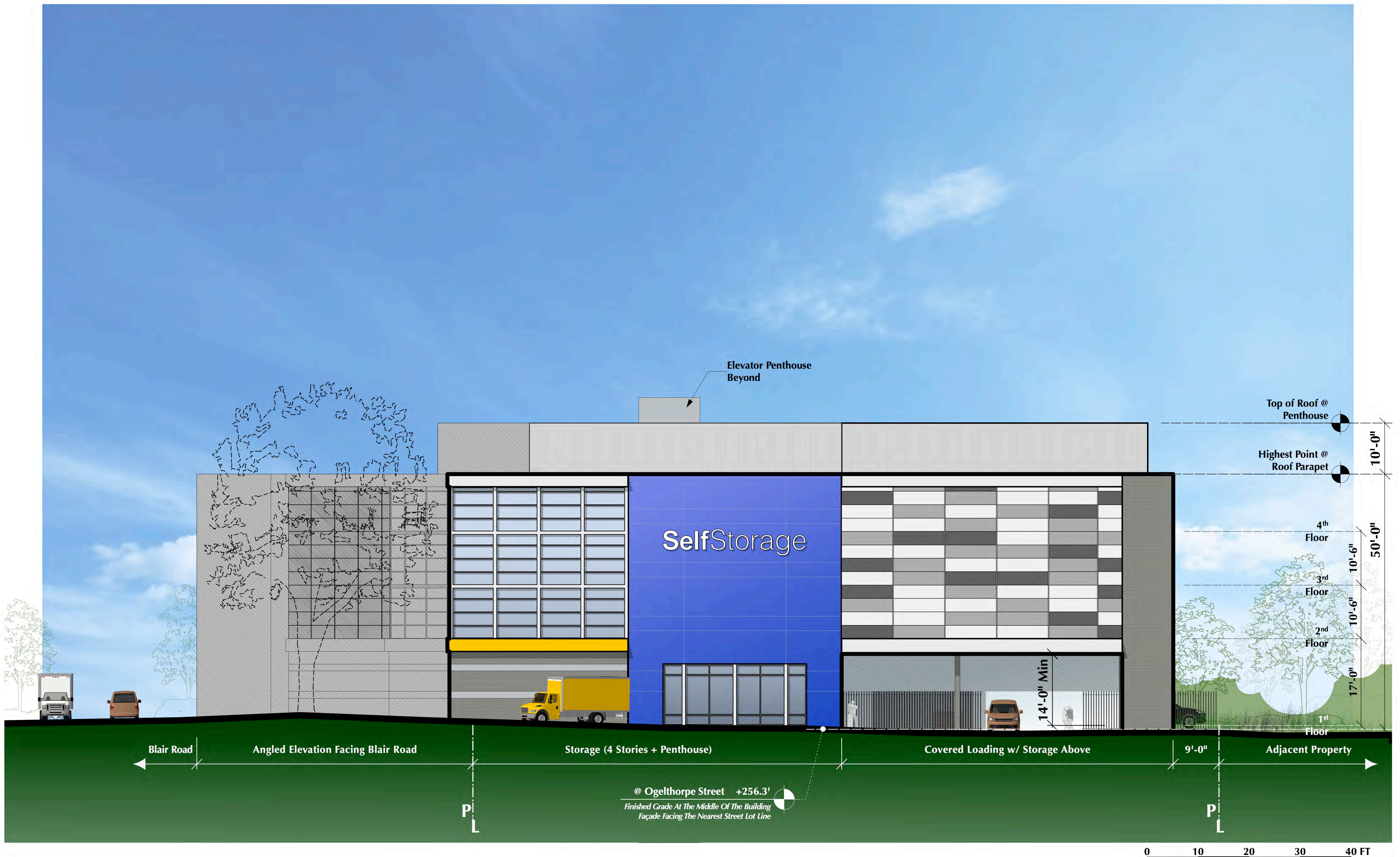


**1 / P-102 :  
Proposed Penthouse Floor Plan**

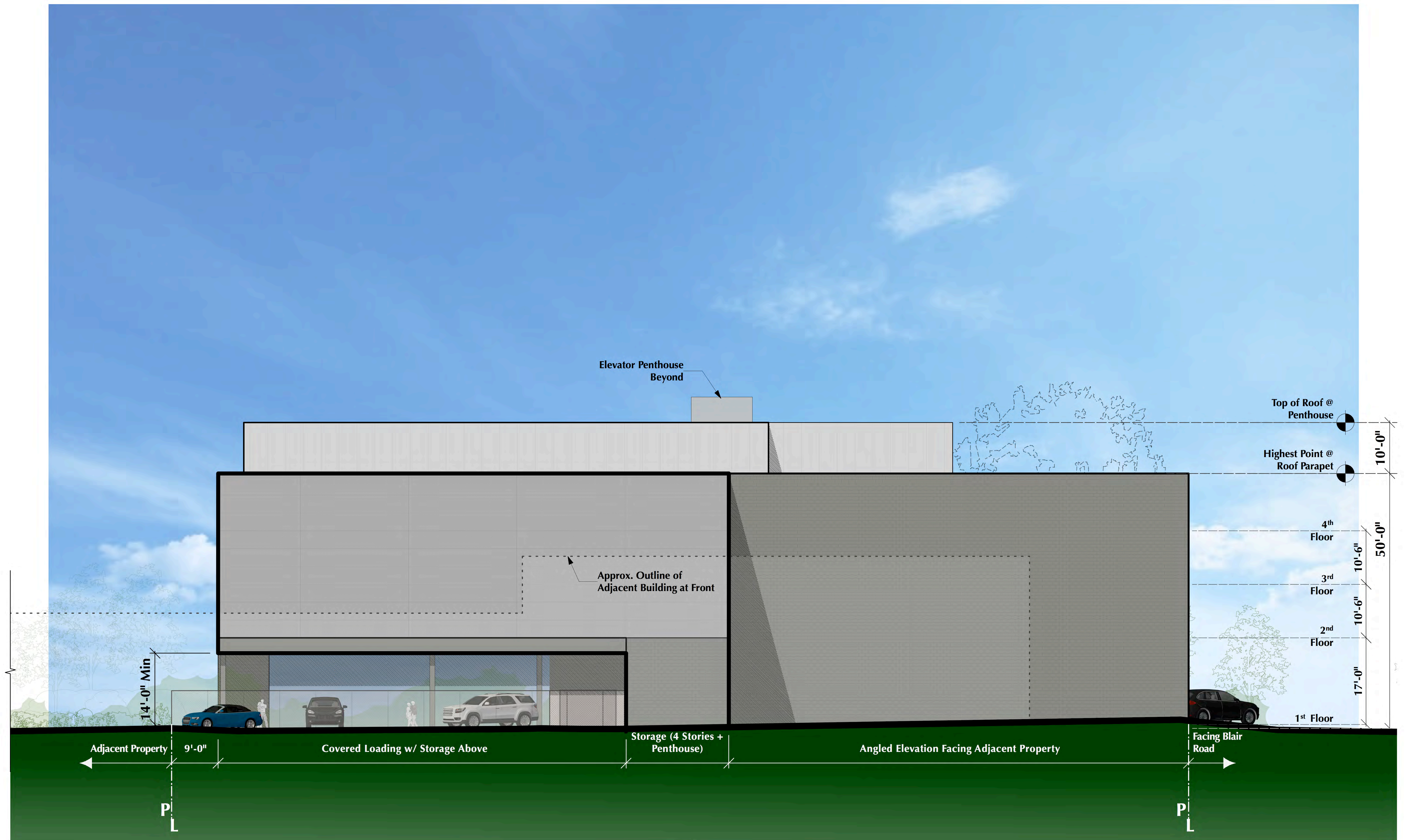
Refer to P-100 For Setbacks













Zoning Summary (per Title 11 DCMR)				
PROPERTY ADDRESS	5901 BLAIR ROAD NW, WASHINGTON DC 20011			
ZONING CLASSIFICATION	PDR-1			
BLOCK NUMBER	SQUARE 3379			
LOT NUMBER	0817			
PROPOSED USE:	PRODUCTION, DISTRIBUTION, AND REPAIR- SELF STORAGE per 11-B §200.2 (aa)			
SITE INFORMATION				
MINIMUM LOT AREA:	-			
MINIMUM LOT WIDTH:	-			
LENGTH/WIDTH RATIO:	-			
SITE AREA:	27,074 SF (per Tax Records- to be confirmed after Survey)			
PROPOSED BUILDING AREA REQUIREMENTS				
DESCRIPTION	AREA SF	REMARKS		
First Floor Area- Parking / Loading	10,511 SF			
First Floor Area- Storage	11,754 SF			
First Floor Area- Office	1,400 SF			
Second Floor Area- Storage	23,665 SF			
Third Floor Area- Storage	23,665 SF			
Fourth Floor Area- Storage	23,665 SF			
Window Bay Projection Area- Storage	888 SF	per Title 12 DCMR 3202.10.3		
Penthouse Area- Storage	10,757 SF	per 11-C §1503.1(c); Area = < 0.4 x Site Area		
<b>SUBTOTAL (EXCLUDING PENTHOUSE &amp; BAYS) =</b>	<b>94,660 SF</b>			
<b>TOTAL PROPOSED GFA =</b>	<b>106,305 SF</b>			
TOTAL GFA EXCLUDING PARKING/LOADING =	95,794 SF	USED WHEN CALCULATING PARKING, LOADING, BICYCLE, & SHOWER REQUIREMENTS		
Regulation	Permitted / Required	Proposed Building	C= Complies	Applicable ZR Section
Allowable / Proposed Floor Area	94,759 SF	94,660 SF	C	Site Area x FAR = 27,074 SF x 3.5 = 94,759 SF
Maximum Floor Area Ratio (FAR)	3.5	3.50	C	per Table J §202.1
PENTHOUSE- Allowable / Proposed Floor Area	10,830 SF	10,757 SF	C	Penthouse Area = < 0.4 x Site Area
PENTHOUSE- Maximum Floor Area Ratio (FAR)	0.4	0.40	C	11-C §1503.1(c)
YARD REQUIREMENTS				
FRONT- Oglethorpe Street	0'0"	0'0"	C	
SIDE YARD- Adjacent PDR-1 Lot (East Elevation, Northwest Elevation), Blair Road (>75' ROW @ West Elevation)	0'0"	9'0" @ East, 0'0" @ Northwest & 0'0" @ West	C	per 11-J §206 & §207
REAR YARD - Adjacent PDR-1 Lot (North Elevation)	2.5'x12" BLDG HT.	22'0"	C	per 11-B §318.3 & 11-J §205
BUILDING HEIGHT REQUIREMENTS				
Maximum Building Height (FT)	50'0"	50'	C	per Table J §203.1
Maximum Building Height (STORIES)	N/A	4 + PENTHOUSE	C	
** SEE P-200-201 PRELIMINARY ELEVATIONS & P-300 PRELIMINARY SECTION FOR BUILDING HEIGHT DATA				
PENTHOUSE SETBACK REQUIREMENTS				
FRONT- Oglethorpe Street	10'0"	20'0"	C	per 11-C §1502.1(a)
SIDE- Adjacent PDR-1 Lot (East Elevation) & Blair Road (West Elevation)	5'0"	5'0" (East) & 50'0" (West)	C	per 11-C §1502.1(d)
REAR YARD - Adjacent PDR-1 Lot (North/ Northwest Elevation)	10'0"	10'0"	C	per 11-C §1502.1(b)
GREEN AREA RATIO (GAR) REQUIREMENTS				
Minimum Green Area Ratio	0.3	0.3	C	per 11-J §208.1
Green Area Calculations	8,122 SF	TBD -- VIA GREEN ROOF	C	Site Area x GAR = 27,074 x 0.3 = 8,122 SF
PARKING / LOADING REQUIREMENTS				
Number of Parking Spaces (Standard + Car Share)	31	25 + 2	C	See Note #1
Size of Parking Space	9'0" x 18'0"	9'0" x 18'0"	C	per Table C §712.5
Number of Loading Berths	2	2	C	See Note #2
Size of Loading Berths	12'0" x 30'0" w/ 14'0" Min. Clear Ht.	12'0" x 30'0" w/ 14'0" Min. Clear Ht.	C	per 11-C §905.2
Size of Loading Platforms	At least 100 SF + 8' Wide, 10' Min. Clear Ht.	100 SF, 8' x 12'6", 17'0" Min. Clear Ht.	C	per 11-C §905.4
Number of Bicycle Parking Spaces	5	5	C	See Note #3
Number of Shower & Changing Facilities	4	4	C	see Note #4
Number of Clothing Lockers	3	3	C	
Notes:				
<b>1. Parking Requirements per Table C §701.5; GFA per 11-C §709.1(a)</b>				
Storage Use = 1 space / 3,000 SF GFA in Excess of 3,000 SF				
Car Share Parking Spaces per 11-C §708.2: (1) Car Share Spaces = (3) Required Spaces; Max. (2) Car Share Spaces Permitted (GFA - 3,000 SF) / 3,000 = (95,794 - 3,000) / 3,000 = 31 STANDARD SPACES REQUIRED				
31 Spaces - 6 per Car Share Reduction = 25 STANDARD SPACES + 2 CAR SHARE SPACED REQUIRED				
<b>2. Loading Requirements per Table C §901.1</b>				
Loading Berths => > 25,000 SF : 2 Required				
Service/Delivery Spaces = None				
<b>3. Bicycle Parking Requirements per Table C §802.1; GFA per 11-C §803.2(a)</b>				
PDR = 1 Long Term Space : 20,000 SF ; 0 Short-Term Spaces				
GFA / 20,000 = 95,794 / 20,000 = 4.8 = 5 Long-Term Spaces				
<b>4. Shower &amp; Changing Facilities- Non-Residential Uses per 11-C §806</b>				
>25,000 SF = (2) showers + (2) showers for every 50,000 SF; Max. (6) showers				
GFA: <75,000 SF = 4 SHOWERS REQUIRED				
Clothing Lockers = 0.6 x # Long-Term Parking Spaces; Min. 12"(w) x 18" (d) x 36"(h)				
0.6 x 5 = 3 CLOTHING LOCKERS REQUIRED				

Window Bay Projection Analysis (per Title 12 DCMR 3202.10.3 Bay Windows)				
Regulation	Permitted / Required	Proposed Building	C= Complies	Applicable ZR Section
Width of Multiple Projections at Lot Line for Buildings Exceeding 24' in Width at the Lot Line	58'-0"	56'-0"	C	per 12-A §3202.10.3.1, See Notes #1+2
Projection of Bay Windows on Streets < 70' Wide (Blair Road)	4'	4'	C	per 12-A §3202.10.3.3
Notes:				
<b>1. Multiple Projection Width Calculation (12-A §3202.10.3.1.7)</b>				
Width of Building at Lot Line = 114'-0"				
Permitted Total Width of Multiple Projections = 13'-0"				
Width of Building over 24'-0" : 114'-0" - 24'-0" = 90'-0"				
Permitted Aggregate Total Width of Multiple Projections : 90'-0" * 6" = 45'-0"				
<b>Total Permitted Multiple Projection Width : 13'-0" + 45'-0" = 58'-0"</b>				
<b>2. Permitted Width of Single Projection Calculation (12-A §3202.10.3.1.4)</b>				
Permitted Width of Single Projection (For Width of Building of 16'-0" = 9'-0"				
Permitted Width of Single Projection (For Width of Building between 16' and 24') = 8'-0" x 6" = 4'-0"				
Permitted Width of Single Projection (For Width of Building > 24') = 90'-0" x 2" = 15'-0"				
<b>Total Permitted Single Projection Width : 9'-0" + 4'-0" + 15'-0" = 28'-0"</b>				

